

Oconto County Floodplain Requirements for Residential Development & Additions along the Bay of Green Bay

Regional Flood Elevations (RFE) & Flood Protection Elev. (FPE) for the following locations:

RFE = 585.2' for the Towns of Little River, Oconto & Pensaukee

FPE = 587.2

RFE = 585.4' for the Town of Little Suamico

FPE = 587.4

The following information is noted for general construction of residential structures. Additional regulations may apply. Requirements for a Floodplain Development Permit are found in Chapter 21 Oconto Co. Floodplain Ordinance. Contact the Oconto Co. Zoning Dept with your questions. 920-834-6827.

Residential Development (includes new or additions to a habitable structure):

- ✓ Benchmark established by Registered Land Surveyor (RLS) on the property to reference RFE and FPE
- ✓ Floodplain Development Permit Application
- ✓ Rescue & Relief Agreement: Where the public road accessing the property is below RFE, written assurance from local fire, police, and emergency services that rescue and relief can be provided to the structure by wheeled vehicles during a regional flood event.
- ✓ A basement or crawlway may be placed at the RFE if it is floodproofed to the FPE. (A floodproofed basement or crawlway requires certification by Prof. Eng or Registered Architect prior to permit issuance and is to be in compliance with Chapter 21.705 Oconto County Floodplain Ordinance)
- Elevation of the lowest floor (excluding the basement or crawlway) shall be at or above FPE on fill, this includes an attached garage floor
- Fill shall be 1' or more above the RFE, extending at least 15 feet beyond the limits of the dwelling, then sloped to match original grade
- Fill material must retain structural bearing capacity when saturated
- Certificate of Compliance completed by RLS certifying that the final elevations of the fill, lowest floor and floodproofing elevations are in compliance with permit. Floodproofing measures also require certification by Prof. Eng or Registered Architect that floodproofing measures meet the requirements of Ch. 21.705 of the Oconto County Floodplain Ordinance.

*Due to NFIP requirements, flood insurance premiums will increase if a structure is built below the RFE, since insurance rates are based on the lowest floor elevation compared to the RFE. The least expensive flood insurance rates are for structures that have their lowest floor constructed two feet above the RFE.

Accessory Structures (not connected to a principal structure such as detached garages, storage sheds, etc.)

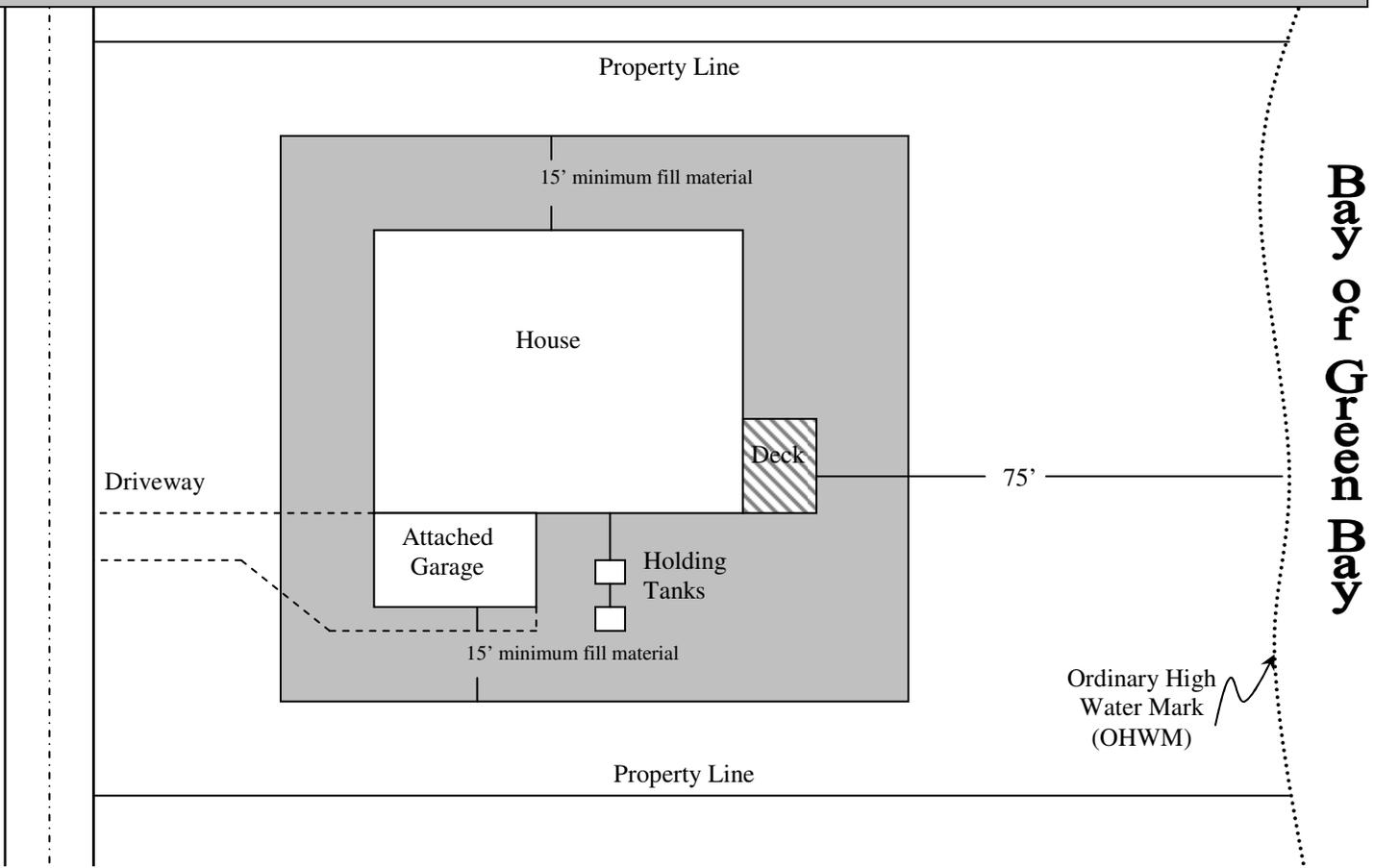
- ✓ FP Development application, Benchmark, Rescue & Relief agreement as noted above.
- Floor shall not be below RFE (exceptions see Ch. 21.403 (2))
- Not built for human habitation
- Not the principle structure on the property
- All service facilities at or above RFE (heating, electrical, etc.)
- Buoyant, flammable, or explosive materials injurious to humans, plat or other aquatic life must be stored at or above FPE
- Certification of Compliance shall be completed by RLS certifying any floodproofing requirements and final elevations are in compliance with Floodplain standards.
- Firmly anchored to the ground
- Low flood damage potential
- Not connected to the principle structure

Private Onsite Wastewater Treatment System (POWTS)

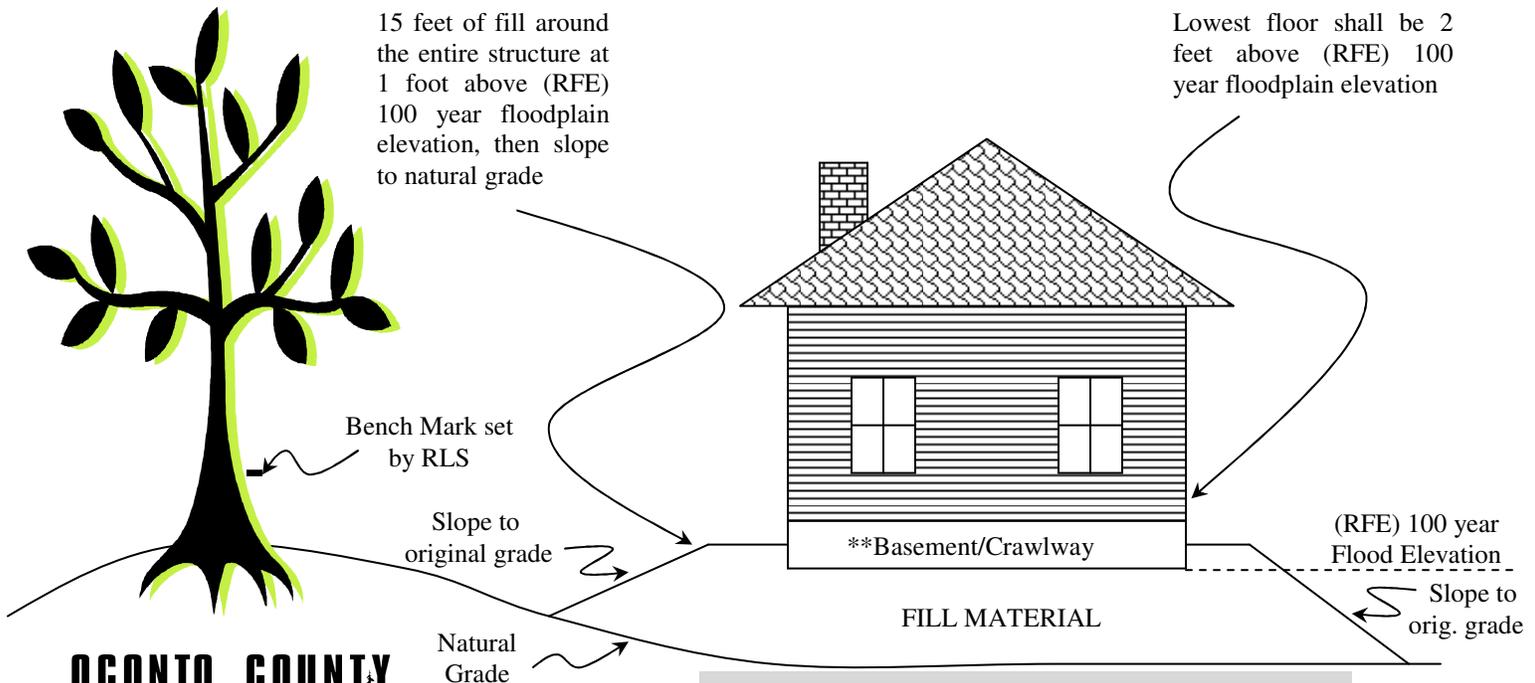
- Floodproofed to FPE (vents and manhole covers), properly anchored.
- ✓ Meet provisions of local sanitary ordinance and Comm 83, WI Administrative Code

NOTE: All items designated with a ✓ must be on file at the time of permit application. Owner is responsible to assure requirements are met and information submitted is correct. Owner must work with a Registered Land Surveyor, Professional Engineer or Architect to provide a certification that the development is in compliance with NR 116 standards and the Oconto County Floodplain Ordinance. No occupancy without a Certificate of Compliance approved by the Oconto County Zoning Department.

Typical Floodplain Development Diagram



Cross-Section of Floodproofed Home on Fill



****Slab constructed foundations at FPE or higher. Floodproofed basement or crawlspace construction requires certified plans by professional engineer or registered architect.**